

May 19, 2025

Springfield Township Planning Commission
12000 Davisburg Road
Davisburg, MI 48350

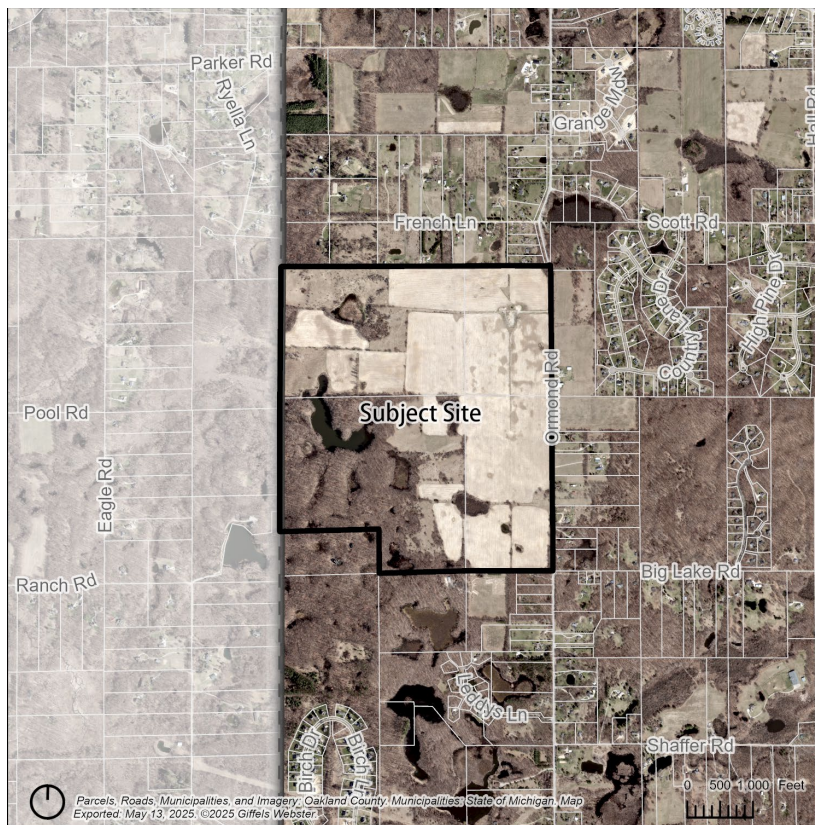
Site Plan & Special Land Use Review Burroughs Materials Co.

Address: 6651 Ormond Rd.
Parcel ID: 07-19-300-011, 07-19-401-007, 07-30-100-006, 07-30-201-003; 06-24-400-004 (Rose Twp)
Zoning: Suburban Estates (R-1A)

Applicant: Burroughs Materials Co.
Plan Date: 5/6/2025
Reviewer: Stephanie Osborn
Check: Julia Upfal

Dear Mr. Davis,

We have reviewed the above application, site plan, landscape plan, and building elevations. Our review is below.



This application shall be reviewed as a preliminary site plan. A preliminary and final site plan are required for all Special Land Uses. Following review of the final site plans, the Planning Commission shall

determine if all required standards have been met and provide a recommendation to the Township Board as to whether the proposed use should be approved or not; in addition, because this is a Special Land Use application, the Planning Commission may consider additional conditions to mitigate any potential impacts from this use.

Proposal

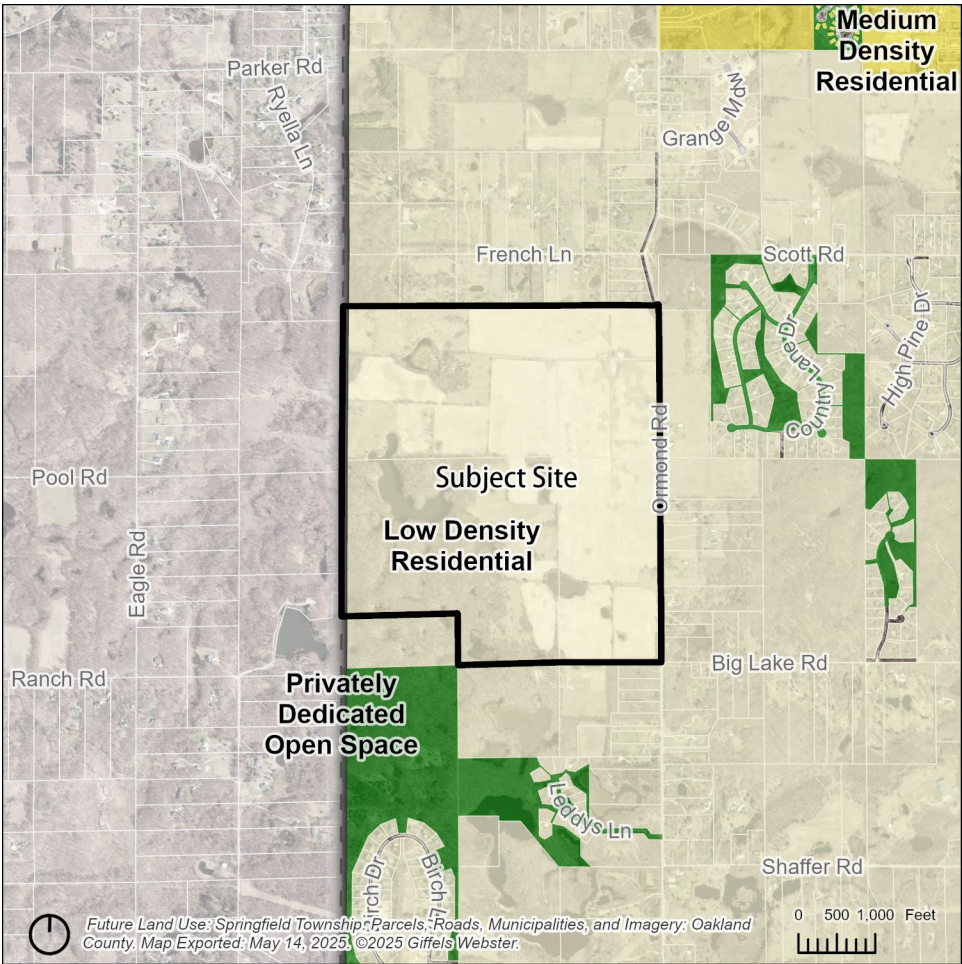
The applicant is proposing to use a 244-acre parcel of land west of Ormond Road and north of Big Lake Road in Springfield Township and an adjacent 60-acre parcel of land in Rose Township as a new sand and gravel mine site. The extraction activity is expected to take place over the course of approximately 20 years and encompass five distinct phases. During this time, the applicant estimates that between 60,000 and 665,000 cubic yards of sand and gravel will be removed from the site annually. The site will use a “wet” mining process that does not involve the pumping and removal of groundwater. Site improvements include a scale office, an employee break room and visitor building, 6 guest and employee parking spaces, a truck scale lane, internal hauling route, a portable processing plant, and modular processing equipment. The site is currently zoned R-1A Suburban Estates and is vacant. Proposed access to the site is via an entrance from Ormond Road at the northern half of the property, however, the applicant has noted that this location may change based on input from the Road Commission of Oakland County. The applicant is proposing the mining to be done in 5 phases.

Review Process for Extraction Uses

Unlike other Special Land Uses, the Planning Commission’s discretion over these types of uses is limited. Per the Michigan Zoning Enabling Act, extraction uses can be regulated by local governments, but cannot be prohibited unless they are determined to be of “very serious consequence.” A summary providing more information on local discretion over extraction uses can be found on Michigan State University Extension’s website: [Local governments can regulate but not prohibit natural resource extraction - MSU Extension](#). The Township’s review process for extraction uses includes the site plan and special land Use review in concurrence with an annual permitting process (as described in Chapter 12, Article IV of the Township General Code). This review letter includes a review of application materials for both the site plan and special land use and the permit application.

Zoning

The site is zoned R-1A. The Future Land Use designation for this site is Low Density Residential.



Adjacent Properties

Direction	Zoning	Current Use	Future Land Use Designation
North	R-1	Residential	Low Density Residential
South	R-1A	Agriculture	Low Density Residential
East	R-1 and R-1A	Residential	Low Density Residential
West (Rose Township)	AG/RP and R-1R	Residential	-

Summary of Planning Commission Considerations

- Determination that no very serious consequences would result from the extraction, by mining, of the natural resources.
- Review of proposed driveway location, note that final approval shall be granted by the RCOC. Planning commission may request additional information on truck routes, number of trucks, or a traffic study. Driveway location shall be revised per engineering review letter.
- Planning Commission may request details of all machinery and vehicles, specifying the anticipated height, noise and vibration levels of each

- Planning Commission will make a recommendation to the Township Board regarding the boundary of the resource protection overlay. A natural resource inventory shall be provided to make this determination.
- Planning Commission may consider requirements of the E-1 Extraction District in determining appropriate conditions for this application.
- Possible conditions of special land use approval:
 - a. Additional or modified screening
 - b. Changes to setbacks
 - c. Phasing considerations
 - d. Restrictions on transportation routes
 - e. Compliance with environmental performance standards in Article VI (Section 40-881 to 40-893); however, additional noise (10 decibels for a period not to exceed 15 minutes) may be permitted as noted in 12-81(f).
 - f. Compliance with all requirements related to mining in Article 12-81 and in Article 40-597
 - g. Requirements for truck stacking to occur on site
 - h. Any other conditions to support the health, safety, and welfare on the site and surrounding properties

Summary of Administrative Comments to be addressed by the applicant:

The following information shall be provided with the final site plan submittal:

- Missing application materials described in #2 of this report.
- Lot dimensions and Right-of-Way width shall be noted on the plans
- Building dimensions, floor plans and elevations with building materials noted for the scale office and employee break room. Elevations shall meet the architectural and site design standards of section 40-821 or a waiver from the approving wbody shall be granted (since there will be no visual impact from a public ROW).
- A mining and reclamation plan incorporating the updated contour base map at a scale no greater than 1 in. : 200 ft. The reclamation plan should document, in phases, a general concept of the lake area, an area designated as residential housing, any recreation or open areas, and proposed road network. Given that zoning and lot sizes may change in 20-25 years, individual lots do not need to be identified at this time. Although the plans note future slopes, there is a typo (3:!) this should be corrected.
- Note hours of operation on plans
- Details of the security fence shall be provided
- A note shall be added to the plans detailing compliance with 12-81(d) for road maintenance.
- Applicant shall provide information regarding how potential noise, vibrations, and dust will be prevented to comply with 12-81(e) and (f)
- Photometric plan and lighting details consistent with 40-888
- Distances between property line and berm, mining area, processing plant, and scale shall be labeled on the plans
- Landscaping plan required detailing existing and proposed plantings used to meet landscaping requirements
- Berm details and landscaping to meet screening requirements shall be provided. A combination of berming and landscaping at least 8 ft in height are required. Berming shall be designed with side slopes not to exceed 1:3 and be maintained in ground cover and mulch.

- One parking lot tree is required. Applicant shall confirm frontage dimension and provide greenbelt trees on landscape plan based on frontage (1 tree per 30 LF). Required 75' greenbelt width shall be labeled on the plans.
- The applicant shall provide information on how trash will be managed.
- Applicant shall provide dimensioned details of entrance location with ROW widths labeled
- Applicant shall provide information on internal pedestrian travel through the site
- Applicant shall provide parking plan showing the layout of the spaces, their dimensions, surfacing, and other pertinent details
- Applicant shall provide a taper line to access the roadway on the plans (40-684(2))
- The natural features inventory described in 40-892(c) shall be provided to determine the boundary of the natural resource protection overlay. The boundary of the natural resource protection overlay shall be reviewed and approved by the Township Board.
- Applicant shall provide note on plans indicating that mitigation measures for any lost natural resource in priority protection areas will be provided in a manner that is agreed upon by the Township Board.
- Provide required information for the ecological characterization required for the resource protection overlay area
- Show the distance that the natural resource buffer zone is from the priority areas such as the lake and other priority natural features
- Address how the lake shoreline will be enhanced and restored

Review Comments:

1. **Use.** The applicant has proposed to mine the area for gravel. Extraction uses may be permitted as Special Land Uses in the R-1A Zoning District (section 40-597(b) Mineral Mining). Excavation will be done using a dredging method that with front end loaders, either loading directly into trucks for hauling or into the feed hopper of the processing plant. To create the proposed lake a dragline crane, hydraulic crane, or floating dredge will be used to remove the raw aggregate, which is stockpiled on the pit floor, allowed to drain, and then loaded onto a conveyor or truck for transportation to the processing plant. The wash plant utilizes a closed-loop system, which recovers and recycles water used by the processing equipment. Well water is used to supplement the re-circulating water as needed, given some process water is lost to moisture content of finished products; however, the closed-loop system significantly reduces the operation's reliance on the well and groundwater. No explosives will be used in the operation.
2. **Application Materials.** The applicant submitted plans for review and discussion as a preliminary site plan. The information that is currently absent that shall be provided as a part of the Final Site Plan

Architect, engineer, surveyor, landscape architect, or planner's seal.	Not Provided
Centerline of existing and proposed right-of-way lines of any street.	Not Provided
Location of existing and proposed service facilities above and below ground, including:	

<ul style="list-style-type: none"> Well sites. 	Not Provided
<ul style="list-style-type: none"> Septic systems and other wastewater treatment systems. The location of the septic tank and the drainfield (soil absorption system) should be clearly distinguished. Wastewater treatment systems process should be explained. 	Not Provided
<ul style="list-style-type: none"> Chemical and fuel storage tanks and containers. 	Not Provided
<ul style="list-style-type: none"> Storage, loading, and disposal areas for chemicals, hazardous substances, salt and fuels. 	Not Provided
<ul style="list-style-type: none"> General location and concept of on-site utilities (both above and below ground) including water, wastewater system, and stormwater systems. 	Not Provided
<ul style="list-style-type: none"> Preliminary calculations for stormwater facilities. Enough detail must be provided to determine the location and type of stormwater treatment proposed and the area needed for these facilities. 	General description provided; subject to engineering review
Location of all easements.	Not provided
All buildings with dimensioned floor plans, setbacks and yard dimensions and elevation views, of all sides of the building, including all roof-mounted mechanical units and screening, exterior materials and colors, including demonstration that the architectural and site design standards are met (section 40-821).	Not provided
Dimensional parking spaces and the calculations, drives, and method of surfacing.	Not provided
Exterior lighting locations and illumination patterns/photometric plan and lighting details.	Not provided
Location and description of all existing and proposed landscaping, berms, fencing and walls. (Should include species type, size, spacing).	Not provided
Trash receptacle pad location and method of screening.	Not provided
Transformer pad location and method of screening.	Not provided
Entrance details including sign locations and size.	Sign to be reviewed under a separate permit

Designation of fire lanes.	Subject to fire department review
Soil characteristics of the parcel	Provided
Existing topography with a maximum contour interval of two feet on parcels of more than one acre. Topography on the site and beyond the site for a distance of 100 feet in all directions shall be indicated.	Provided
Location of existing drainage courses and associated bodies of water, on and off site, and their elevations.	Provided
Location and identification of natural resource features, including woodlands and other native plant communities, and areas with slopes greater than ten percent (one foot of vertical elevation for every ten feet of horizontal distance).	Not Provided
Location of invasive species. If found, an Invasive Species Management Program per Article V shall be provided.	Not Provided
Total and useable floor area.	Provided
Number of employees in peak usage.	Not Provided
Turning radius for trucks showing how they can enter and exit the site and various loading areas throughout.	Not Provided

3. Dimensional Standards for the R-1A district.

R-1A Dimensional Standards				
Development Standard	Zoning Ord Section	Required	Provided	Comments
Setbacks (40-572)				
Front yard	40-572	75'	75+' to scale office and employee break room/visitor building	Compliant
Rear yard		35'	35+' to scale office and employee break room/visitor building	Compliant
Side yard (north)		25'	25+' to scale office and employee break room/visitor building	Compliant

Side yard (south)		25'	25+' to scale office and employee break room/visitor building	Compliant
Lot Coverage (40-572)				
Maximum lot coverage	40-572	15%	Building dimensions not provided , however, it will be less than 15%	Compliant; Applicant shall provide building dimensions and elevations
Building Height (40-572)				
Max. Building height	40-572	2 stories / 28.5'	Building elevations not provided	Applicant shall provide building elevations

4. Use Standards – Mineral Mining

Mineral Mining Standards			
Zoning Ord Section	Required	Provided	Comments
Section 40-597 Mineral Mining			
(b)	SLU and site plan approval required by Township Board	SLU and site plan application received	Approval requested
(d)(1)	Completed application for SLU approval	See above	
(d)(2)	Completed application and all required information for site plan approval	See above and list following this letter	See all administrative comments detailing items required for final site plan review
(d)(3)	A completed application and all required information as set forth in Section 12-81	See below	See below
(d)(4)	Market information. Report prepared by a geologist or other expert that finds that the natural resources to be extracted shall be considered valuable and the applicant can receive revenue and reasonably expect to profit from the proposed mining operation; documentation that there is a need for the natural resources to be mined	Applicant has provided report by a geologist indicating that the materials to be extracted are valuable and that the applicant can earn revenue and expect to profit from the operation	Compliant
(e)	Proof that no very serious consequences would result from the	Applicant has indicated that no	Planning Commission may wish to further discuss w

	extraction, by mining, of the natural resources	very serious consequences would result from the extraction in light of the 6 factors laid out in MCL 125.3205(5)(a)-(f) (see application)	this determination with the applicant
(e)(1)a-c	SLU criteria are determined to have been met by the Township Board; see below in the “Special Land Use Approval” section	Not provided	Applicant shall provide
(g)	During the term of the SLU permit, the total area (or areas) being mined and which has (or have) not been reclaimed shall at no time exceed the lesser of 150 acres or 40% of the entire parcel approved as a SLU	The applicant confirmed in their application that they will comply with these requirements. 40% of the 422 acre site is 97.6 acres. The largest phase is Phase 2 at 50 acres. As long as reclamation occurs following each phase as planned, this standard can be met	Compliant
Section 12-79 Permits			
(d)	<i>Administrative review.</i> Where a permit is required due to the volume of cubic yards to be distributed yet a minimum impact is apparent, an administrative review performed by the township supervisor or his designee will be allowed to prevent unnecessary and costly information from being submitted. A minimum administrative review fee, as established by resolution of the township board, will be charged for this review. The township supervisor or his designee may allow the processing of an application with less than all the information otherwise required by this article.	The applicant has indicated that permits are required due to the volume expected to be extracted, but that the project will have minimal impact.	See letter from the Township Attorney, Greg Need, regarding ability for this project to undergo administrative review
Section 12-80 Application procedure for mining permit			
(a)	Submission of application by November 30 of the preceding year with permits starting on May 15	See memo from Township Attorney, Greg Need re: dates	N/A
(b)	Application contents	Applicant has provided much of this information as part of the site plan	Applicant a mining and reclamation plan incorporating the updated

		and special land use request, and agreed to items such as the surety bond (item 13) and providing any additional information requested (item 14).	contour base map at a scale no greater than 1 in. : 200 ft. The reclamation plan should document, in phases, a general concept of the lake area, an area designated as residential housing, any recreation or open areas, and proposed road network. Given that zoning and lot sizes may change in 20-25 years, individual lots do not need to be identified at this time.
Section 12-81 Standards, required improvements and reclamation			
(a)	4 ft. high farm type fence along the outside perimeter of all areas where mining activities have or are to occur. All fenced areas shall be conspicuously posted with “No Trespassing” signs, which shall be of sturdy and rigid material	A security fence is proposed to surround the area planned to be mined. No details about the fence have been provided	Applicant shall provide fence details
(b)	Mining activities may occur from 6 am to 7pm, except during daylight savings time when the closing time can be extended to 8 pm, Monday thru Saturday. No mining or trucking activities are permitted on Sundays or legal holidays without advance authorization from the Twp supervisor or his/her designee.	Applicant has confirmed that they will comply with the permitted hours of operation in the application but should be noted on the plans	Compliant, however note should be added to plans
(c)	The mining operation shall have immediate and direct access to a paved road having necessary and appropriate load bearing and traffic volume capacity in relation to the proposed intensity of the use	The site has access to Ormond Road. On-road trucks will travel north on Ormond Road, west on Davisburg Road, and then north or south on Milford Road, depending on location of delivery.	Access is on Ormond Road, a paved road with the appropriate load bearing. Traffic volume capacity will be reviewed by the Road Commission of Oakland County. The Planning Commission may request additional information from the applicant including routes and/ or a traffic study.
(d)	Access roads, excluding roads under the jurisdiction of the Road Commission for Oakland County, to and within the subject properties shall be maintained by the permit holder so as to maintain the roads in adequate condition for access purposes and to minimize the	Applicant has agreed to maintain all internal roads.	Compliant, however a note shall be added to the plans.

	dust arising from the use of such roads. Such maintenance shall be accomplished through the application of chloride, water, and/or similar dust retardant material.		
(e)	All equipment and facilities used in the production, processing, or transportation of sand, gravel, or stone on the subject properties by the permit holder shall be constructed, maintained, and operated in such a manner as to eliminate, insofar as practicable, noises, vibrations, or dust which interfere with the reasonable use and enjoyment of surrounding property. Where feasible, the processing plants and accessory equipment shall be located below the average grade of the surrounding parcels so as to effectuate screening from sight, noise, dust, and vibration.	Processing equipment will be located below the surface grade and use a comprehensive fugitive dust control program to minimize dust emissions from the site. Screening berms will be constructed to mitigate noise and visual impacts. See engineering review letter for more on screening.	Planning commission may request details of all machinery and vehicles; applicant shall specify the anticipated height, noise and vibration levels of each Applicant shall provide information regarding how nuisances associated with the operation will be prevented and mitigated
(f)	Equipment may not be operated at a noise level that exceeds 75 dB(A) or 85 dB(C) from 8am-10pm. Noise levels may be increased by 10 dB for a period of not to exceed 15 minutes in any one-hour period	No information about expected noise associated with operations has been provided; Applicant has agreed to comply with this standard	Applicant shall provide information about noise and mitigation measures.
(g)	All lighting must comply with section 40-888 Exterior Lighting	No photometric plan or lighting details have been provided. Applicant has agreed to comply with this standard	Applicant shall provide photometric plan and lighting details
(h)	Proper drainage shall be provided at all times to prevent the collection and stagnation of water, and surface water shall at all times be directed in such a manner so as not to create an adverse impact to the adjoining properties; provided, however, that the maintenance of the natural flow of surface water shall not be deemed an adverse impact. There shall be no creation of an adverse impact to the water table in the area.	Stormwater will be managed through the use of temporary and long term infiltration basins at the perimeter of the excavation where runoff may potentially leave the mining area during site preparation. All stormwater from the mining area will be held on site. Further, the applicant has been monitoring groundwater on site	eSee engineering review

		since 2008 and does not expect any impact or change to the water table due to mining activities and has agreed to regular, ongoing monitoring and to address concerns promptly.	
(i)	<p>The mining sites shall be reclaimed in a manner such that no final slopes shall have grades in excess of one foot vertical to three feet horizontal except with regard to submerged slopes which shall be graded from the waters edge at a grade not in excess of one foot vertical to seven feet horizontal for a distance of not less than ten feet, nor more than 50 feet. In such cases as the reclamation plan provides for a permanent water area, excavations shall be made to a water depth of at least ten feet below the low water mark, for at least 80 percent of the entire water area. All mining activities are to occur at least 100 feet from the nearest property line, provided all processing and stockpiling shall be conducted at least 200 feet from the nearest property line. Where the property is currently disturbed within the exterior 25-foot setback, as indicated on the submitted mining and reclamation plan, the disturbed property shall be fully reclaimed in accordance with the reclamation plan details. Reclamation activities shall consist of the grading necessary to effectuate a smooth transition in site grades and stabilization of all disturbed areas with topsoil, seed, and mulch and may extend up to the 25-foot setback line. The submitted mining and reclamation plan shall include turf establishment specification acceptable to the township engineer.</p>	<p>A reclamation plan has not been submitted.</p> <p>All mining activities are proposed at least 100 feet from the nearest property line</p> <p>All processing and stockpiling is proposed to be conducted at least 200 feet from the nearest property line</p>	<p>Applicant shall show distances from the various phase areas to the property line and submit a reclamation plan that meets these requirements</p> <p>The reclamation slopes are noted on the plans, but there is a typo this should be corrected.</p> <p>The reclamation plan should document, in phases, a general concept of the lake area, an area designated as residential housing, any recreation or open areas, and proposed road network. Given that zoning and lot sizes may change in 20-25 years, individual lots do not need to be identified at this time.</p>
(j)	<p>In the event filling of the mined area is necessary in the course of reclamation, the fill material shall be inert materials only and shall not consist of and/or contain any organic waste, hazardous waste, radioactive waste, agricultural waste, industrial waste, or sludges and</p>	<p>A reclamation plan has not been submitted.</p> <p>Applicant has agreed to comply with this requirement.</p>	<p>Applicant shall show distances from the various phase areas to the property line and submit a reclamation plan that meets these requirements</p>

	sewage residues, whether or not compounded, mixed, combined, bound, or contained within any other material through any chemical or physical process or a combination thereof, or in any other fashion; and moreover, such fill material shall not contain any other material which will, or is likely to, impair or harm the air, water, and natural resources, and public trust therein, and/or the public health and safety.		
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5. Site Standards.

Site Standards			
Zoning Ord Section	Required	Provided	Comments
Landscaping (Section 40-721)			
40-721(b)(2)	Landscape plan shall provide identification and location of all existing plant materials.	No landscaping plan has been provided	Applicant shall provide landscaping plan detailing existing and proposed plantings used to meet landscaping requirements
40-721(b)(3)	Screening: Level 4 screening needed on north, west, and south sides (heavy industrial use abutting single-family residential/ Agricultural uses). A combination of berming and landscaping at least 8 ft. in height. Berming shall be designed with side slopes not to exceed 1:3 and be maintained in ground cover and mulch. Must be approved by Township Body responsible for approval.	A berm is proposed on the north, west and south sides of the property where the mining is occurring. Details about the berm have not been provided Landscaping not provided.	Applicant shall provide berm details and landscaping to meet screening requirement. Planning Commission shall review proposed screening to determine whether this is sufficient
40-721(b)(4)	Minimum of one tree for every eight (8) parking spaces 6 spaces/8 = 1 tree needed	No trees have been proposed for the parking area	Applicant shall provide one parking lot tree
40-721(b)(5)	75' greenbelt needed with 1 tree per 30 lf of frontage	Frontage is not labeled but does not appear to meet the	Applicant shall confirm frontage and include greenbelt

	Frontage is approximately 4,659 ft. 155 trees needed	75' setback required for R-1A..	trees on landscape plan
40-721(b)(6)	Ten percent of the site area, excluding existing public rights-of- way, shall be landscaped. Such landscaping may include the preservation of existing native vegetation and tree cover. Site area: 422 acres 10% of site area: 42.2 acres	More than 10% of site area is in the resource protection area.	Compliant.
40-721(b)(8)	Outside trash disposal containers shall be screened on all sides with an opaque fence or wall, and gate at least as high as the container, but no less than six feet in height, and shall be constructed of material which is compatible with the architectural materials used in the site development.	No trash dumpster enclosure has been proposed	The applicant shall provide information on how trash will be managed.
Signs (Section 40-751)			
No signs were proposed. Signs to be reviewed under separate permit application.			
Access management (Section 40-683)			
40-683(a)(2)	Driveway performance standards: <ul style="list-style-type: none"> • Design harmonious with internal circulation to absorb inbound traffic • Sufficient on site storage for three queuing vehicles • Designed for all vehicles types needed • Visibility shall meet minimum adopted by RCOC of MDOT 	Additional information required Entrance location to be approved by RCOC	Applicant shall provide dimensioned details of entrance location with ROW widths labeled
40-683(a)(3)	Driveway spacing	Exceeds 275'	Compliant Entrance location to be approved by RCOC
40-683(b)	Pedestrian access	Although the site is not connected to any pedestrian network, the applicant should describe how employees will safely travel from the parking area to the building	Applicant shall provide information on internal pedestrian travel through the site

40-684(2)	All uses subject to site plan review shall provide a paved taper to provide access to and from roadway	None provided	Applicant shall provide taper lane on the plans
Parking, drives, and loading areas (Section 40-681)			
40-681(1)(g)	The ordinance does not require a set number of parking spaces for extraction uses	The applicant has proposed six parking spaces, located in the northeast portion of the site near the scale office for guests and employees. Details about the parking spaces (dimensions, surfacing, etc.) have not been provided	Applicant shall provide parking plan showing the layout of the spaces, their dimensions, surfacing, and other pertinent details
Exterior Lighting (Section 40-888)			
40-888(c)	All parking areas, walkways, driveways, building entryways, off-street parking and loading areas shall be sufficiently illuminated to ensure the security of property and the safety of persons	No lighting plan or lighting details have been provided	Applicant shall provide photometric plan and lighting details
Architectural and Site Design Standards (Section 40-821)			
40-821	The Township has standards related to building facades and exterior walls, roofs, and building materials and colors.	No building elevations have been provided	Applicant shall provide building elevations The Planning Commission may waive these standards as there will be no visual impact from a public ROW ¹
Resource Protection Overlay District (Section 40-892)			
40-892(b)	Applicability	The southwest portion of the site has been designated as a resource protection area	These standards are applicable
40-892(c)	<i>Natural resources inventory by qualified professional required and shall include the following:</i> (1) The wildlife use and habitat showing the species of wildlife using the area, wildlife movement corridors, the times or seasons that the area is used by those species and the value (meaning feeding, watering, cover, nesting, roosting,	Applicant has not provided this information	Natural features inventory required.

	<p>and/or perching) that the area provides for such wildlife species;</p> <p>(2) The boundary of wetlands in the area and a description of the ecological functions and characteristics provided by those wetlands; (3) Any prominent views from or across the site; (4) The pattern, species and location of any significant native trees and other native site vegetation; (5) The bank, shoreline and ordinary high-water mark of any inland lake or stream on the site; and</p> <p>(6) The general ecological functions provided by the site and its features.</p>		
40-892(d)	The applicant shall propose, subject to review and approval by the responsible township body, areas of priority protection illustrated on the site plan or subdivision plat	Applicant has identified the resource protection overlay boundaries.	Planning Commission may wish to discuss the boundaries of the protected area
40-892(e)(1)	To the maximum extent feasible, no construction activity, including, without limitation, tree or brush removal, grading, excavation or stockpiling of fill material shall be permitted within priority protection areas	No construction activity is proposed for the resource protection area	Compliant
40-892(e)(2)	Natural resource buffer zones shall be established adjacent to natural features/ecosystems intended for preservation within areas of priority protection. Such buffers shall be a minimum of 25 feet in width. The township body responsible for approval may decrease the buffer zone below the 25-foot requirement where it can be demonstrated that other means are available to provide the equivalent protection.	Applicant has shown the boundary of the resource protection area, But 25' buffer was not provided.	Applicant shall provide a 25' buffer from the resource protection overlay area.
40-892(e)(3)	The applicant shall undertake mitigation measures for any damaged or lost natural resource in priority protection areas resulting from or caused by the development activity of the applicant.	No development proposed in priority protection area	Applicant shall provide note on plans indicating that mitigation measures for any lost natural resource in priority protection areas will be provided in a manner that is agreed upon by the Township Board.

40-892(e)(4)	If the development site contains priority protection areas that connect to other areas of a similar nature, to the extent reasonably feasible, such connections shall be preserved. \	N/A the priority protection area is one contiguous area	Compliant
40-892(e)(5)	If the development site contains an inland lake or stream, the development plan shall include such enhancements and restoration as are necessary to provide reasonable wildlife habitat and aesthetic quality in areas of shoreline transition and areas subject to erosion.	Applicant describes erosion and sedimentation issues on the plans	Compliant
40-892(e)(6)	Projects which are subject to this section shall be designed to complement the visual context of the natural area. Techniques such as architectural design, site design, the use of native landscaping, and choice of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected, and manmade facilities are screened from off-site observers and blend with the natural visual character of the area.	N/A – no buildings or structures will be in the resource protection overlay area	N/A
<p>¹ Modifications to these standards, in whole or in part, may be approved as long as the modification will not create a negative visual impact when the building is viewed from a public thoroughfare and/or a neighboring property and where one or more of the following can be demonstrated: 1) the modification will achieve a specific architectural objective or purpose, 2) the standard creates a practical difficulty, or 3) proposed building facades, roofs, materials and colors are consistent with those within the immediately surrounding area.</p> <p>²In establishing the width of the buffer zone, the township body responsible for approval shall consider the foreseeable impacts of development on the ecological character or function of the natural feature/ecosystem to be preserved and the following: a. Wildlife habitat, movement corridors and use characterization of the priority protection area. b. Extent of floodplains, floodways, wetlands and watercourses. c. Type, amount and extent of existing vegetation on the site. d. Character of the proposed development in terms of use, density, traffic generation, quality of runoff water, noise, lighting and similar potential development impacts, on the priority protection area being buffered. e. Site topography, including but not limited to such characteristics as steepness of slopes, existing drainage patterns, ridgelines and scenic topographic features.</p>			

Special Land Use Standards (40-145)

The Planning Commission and the Township Board, in arriving at this recommendation and decision relative to any application for a special land use, shall apply the following standards for site plan reviews (items 1-6):

1. The proposed use shall be of such location, size and character as to be in harmony with the appropriate and orderly development of the zoning district in which situated and shall not be detrimental to the orderly development of adjacent zoning districts.
2. The location and size of the proposed use or uses, the nature and intensity of the principal use and all accessory uses, the site layout and its relation to streets giving access to it, shall be such that traffic to and from the use, and the assembly of persons in connection therewith, will not be hazardous or inconvenient to the neighborhood. In applying this standard, the planning commission and township board shall consider, among other things: convenient routes for pedestrian traffic, the relationship of the proposed use to main traffic thoroughfares and to street and road intersections, the general character and intensity of the existing and potential development of the neighborhood, and relationship to the township master plan. The planning commission and township board shall determine that the proposed use will not have a detrimental effect.
3. Unless a variance is granted, the standards of density and required open spaces for the proposed use shall be at least equal to those required by this chapter in the zoning district in which the proposed use is to be located. After the granting of approval of a special land use by the township board, the zoning board of appeals shall also have the power to grant variances as provided by this chapter.
4. The public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
5. Protection of the natural environment and conservation of natural resources and energy.
6. Compatibility with adjacent uses of land and promotion of the use of land in a socially and economically desirable manner.

Mineral Mining Standards (Section 40-597(e))

The following review standards apply specifically to mineral mining and shall be reviewed and discussed by the planning commission as a part of their consideration.

1. A determination by the township board that the applicant has met the burden of demonstrating that there are valuable natural resources on the relevant property and that there is a need for the natural resources by the applicant or in the market served by the applicant;
2. A determination by the township board that the applicant has demonstrated compliance with the standards for special land use approval contained in this chapter.
3. A determination by the township board that very serious consequences would not occur as a result of the mining operations. The following factors shall be considered in making that determination:
 - a. The relationship of extraction and associated activities with existing land uses.
 - b. The impact on existing land uses in the vicinity of the property.

- c. The impact on property values in the vicinity of the property and along the proposed hauling route serving the property.
 - d. The impact on pedestrian and traffic safety in the vicinity of the property and along the proposed hauling route serving the property.
 - e. The impact on other identifiable health, safety, and welfare interests in the local unit of government.
 - f. The overall public interest in the extraction of the specific natural resources on the property.
4. The proposed mining operation shall have immediate and direct access to a road having the necessary and appropriate load bearing and traffic volume capacity in relation to the proposed intensity of the use.

R-1A vs. E-1 standards

Although the site is located in the R-1A District, the Township's E-1 District was designed and intended specifically for extraction uses. The following is a comparison between the districts. The Planning Commission may consider E-1 Standards in determining any Special Land Use conditions. The E-1 District standards and a comparison of the R-1A and E-1 Districts are attached.

Planner's Recommendation

This was a preliminary site plan review. PC shall provide any comments on the proposed development for final site plan review at a subsequent meeting.

Staff will be available to discuss this review at the next Planning Commission meeting.

Respectfully,
Giffels Webster



Julia Upfal
Senior Planner



Stephanie Osborn
Associate Planner

R-1A vs. E-1 Standards*		
Development Standard	R-1A Required	E-1 Required
Setbacks (40-572)		
Front yard	75'	75'
Rear yard	35'	50'
Side yard (least of one/total)	25'/50'	30'/60'
Lot Coverage (40-572)		
Maximum lot coverage	15%	5%
Building Height (40-572)		
Max. Building height	2 stories / 28.5'	2 stories / 28.5'
Additional Standards for Use*		
	See standards above in sections 12-79, 12-80, 12-81, and 40-597	See Section 40-554
Aerial photo requirements	Photo shall include all lands within 200 feet of the proposed mining area, site topography and natural features including location of watercourses within the planned mining area, and means of vehicular access to the proposed operation	Photo shall include all lands within 1,000 feet of the proposed mining area
Existing land use study	Not required	Land use study/drawing showing the existing land uses with specification of type of use (e.g., single-family residential, multiple-family residential, retail, office, etc.) and density of individual units in areas shown, including: 1. Property within 1,000 feet of the site; and 2. The property fronting on all vehicular routes within the township contemplated to be utilized by trucks which will enter and leave the site
Use setback	Active mining: 100' Processing and Stockpiling: 200'	Active mining: 160' Processing and Stockpiling: 200'
Total area being mined	the total area (or areas) being mined and which has (or have) not been reclaimed shall at no time exceed the lesser of 150 acres or 40 percent of the entire parcel	The total area being mined, and which has not been reclaimed, shall at no time exceed the lesser of 75 acres or 40 percent of the entire parc
Transportation routes	N/A – not required	The proposed transportation route or routes within the township shall be as direct and minimal in detrimental impact as reasonably possible
*This table does not show all standards, only standards that differ between the two districts. Any standard that is the same is not mentioned in the table above, but is included in the review.		

